

# **City of O'Fallon Planning and Development Department**

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For additional information send inquiries to:

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## **Preliminary Plat Application Checklist**

### **APPLICATION SUBMITTAL INFORMATION**

- All items shall be submitted online through the O'Fallon Permitting, Licensing and Enforcement portal (OPLE). Electronic submittals shall be Adobe PDF with the measuring functionality enabled for review purposes.
- The applicant will be billed for the application fee of \$150.00. The fee shall to be paid regardless of Preliminary Plat approval.
- The applicant will be billed for the cost of the Legal Notice advertising the required Public Hearing before the Planning and Zoning Commission, plus a \$0.62 mailing fee for the notification of each adjacent property owner within a 300' radius of the subject site.
- Provide a legal description of the site electronically (Word version) as part of the initial submittal.
- Within a week and a half of receipt of the application, City Staff will send an email to all parties listed on this application with a report listing comments and issues that need to be addressed in order to meet City standards. The applicant will then be asked to revise and resubmit the Site Plans as an Adobe PDF electronically.
- As part of the revised 2<sup>nd</sup> submittal, responses as to how you have addressed each of the comment items shall be provided. If the applicant fails to address all of the noted items on their 2<sup>nd</sup> submittal, the submission may not be brought before the Planning and Zoning Commission for consideration.

**This Preliminary Plat Application and Checklist outlines the items typically addressed with an initial submittal of a Preliminary Plat. This checklist is a guide to the generally required information on a Preliminary Plat, but may not be inclusive of all the information that may be required to meet City Code. Please refer to Title IV: Land Use Chapter of the O'Fallon Municipal Code for more specific and detailed requirements.**

- The Preliminary Plat designed by qualified land planner, registered professional architect, engineer or land surveyor, with their stamp, signature, and address, shall contain a complete set of notations and descriptions that supply the City Staff with all relevant site information including but not limited to: Total site area; site coverages; owner/developer; zoning, proposed use, utilities provided, floodplain and floodway information; required calculations (parking, landscape, etc); and any additional information needed to demonstrate compliance with all applicable codes, requirements, and restrictions. Multiple drawings may be required for clarity.
- Indicate the name of the proposed subdivision, which shall be original and not a duplicate of any previously recorded subdivision. Provide copy of letter from St. Charles County approving subdivision and/or street names.
- Provide a North Arrow and a scale on each page of the submittal. The scale shall be: One (1) inch equals 20 feet through One (1) inch equals 200 feet (no greater or less than specified).
- Provide a site location map that shows site in relation with the surrounding area.
- Indicate the name and address of the property owner, the applicant, and developer (if different from the applicant).

- Show natural features, such as trees, tree masses, streams, dry river beds, rivers, lakes, ponds, wetlands, floodplains and floodways, drains, topography (at least at five foot intervals, when terrain is irregular or drainage critical, contours will be at two foot intervals) and other similar features.
- Show existing and proposed 100-yr. floodplain and floodway boundaries (where applicable) and include a note stating whether the site is within or outside the 100-yr. floodplain and reference the applicable FIRM map panel number and date. Where the floodplain is proposed to be altered, the application must contain approval from FEMA for the alteration.
- Delineate wetlands subject to United States Corp of Engineers (COE) regulations. Appropriate documentation of coordination with the COE shall be provided.
- Show existing manmade features, such as buildings, structures, easements, high tension towers, power lines, excavations, bridges, culverts and drains. Also indicate any easements on site that these items may be located within.
- Provide, within 100 yards of the proposed subdivision; names of adjacent subdivisions, layout of streets ( with names), rights of way widths and locations of alleys, easements and public walkways adjacent to or connecting with the tract.
- Show the location and size of all existing sanitary sewer, storm sewer and water supply facilities.
- Indicate which lots are more susceptible to street movement. Typically, those lots at the end of tangent sections, lots across from "T" intersections, and lots on the outside of radii are susceptible to street movement regardless of whether they are uphill or downhill from these areas.
- Provide the layout and width of the right-of-way, surfacing and names of all streets, sidewalks, or public ways proposed for the subdivision.
- Identify lot layout, dimensions, setback requirements.
- All parcels of land to be dedicated or reserved for public use or for use in common by property owners in the subdivision shall be indicated on the Preliminary Plat, along with any conditions of such dedication or reservation.
- Show identification, location and nature of all proposed zoning and uses to be included within the subdivision.
- Show the designation of utilities to serve proposed subdivision. The developer will ensure that the staging of the subdivision will include adequate provision for all utilities and streets for adjacent undeveloped properties.
- Show the current Zoning status of property included in the Preliminary Plat and of all adjacent properties, regardless of political subdivisions of all such properties.
- Identify the location of proposed structures, including fences, signs, etc.
- Indicate how storm water detention requirements will be addressed.
- As a part of the submittal, a preliminary copy of the Trust Indentures / Covenants / Deed Restrictions must be provided, in accordance with Section 405.350 of the Subdivision and Land Development Code.
- Identify any existing structures to remain on site and what their uses will be.
- Indicate the height of all buildings and structures.
- Proposed residential Preliminary Plats shall include Colored Building Elevations of all the typical, representative housing styles within the proposed development that resemble as closely as possible how they will appear upon completion.
- Indicate proposed streets, driveways, sidewalks and other vehicular and pedestrian circulation features within and adjacent to the site, include dimensions of circulation features.

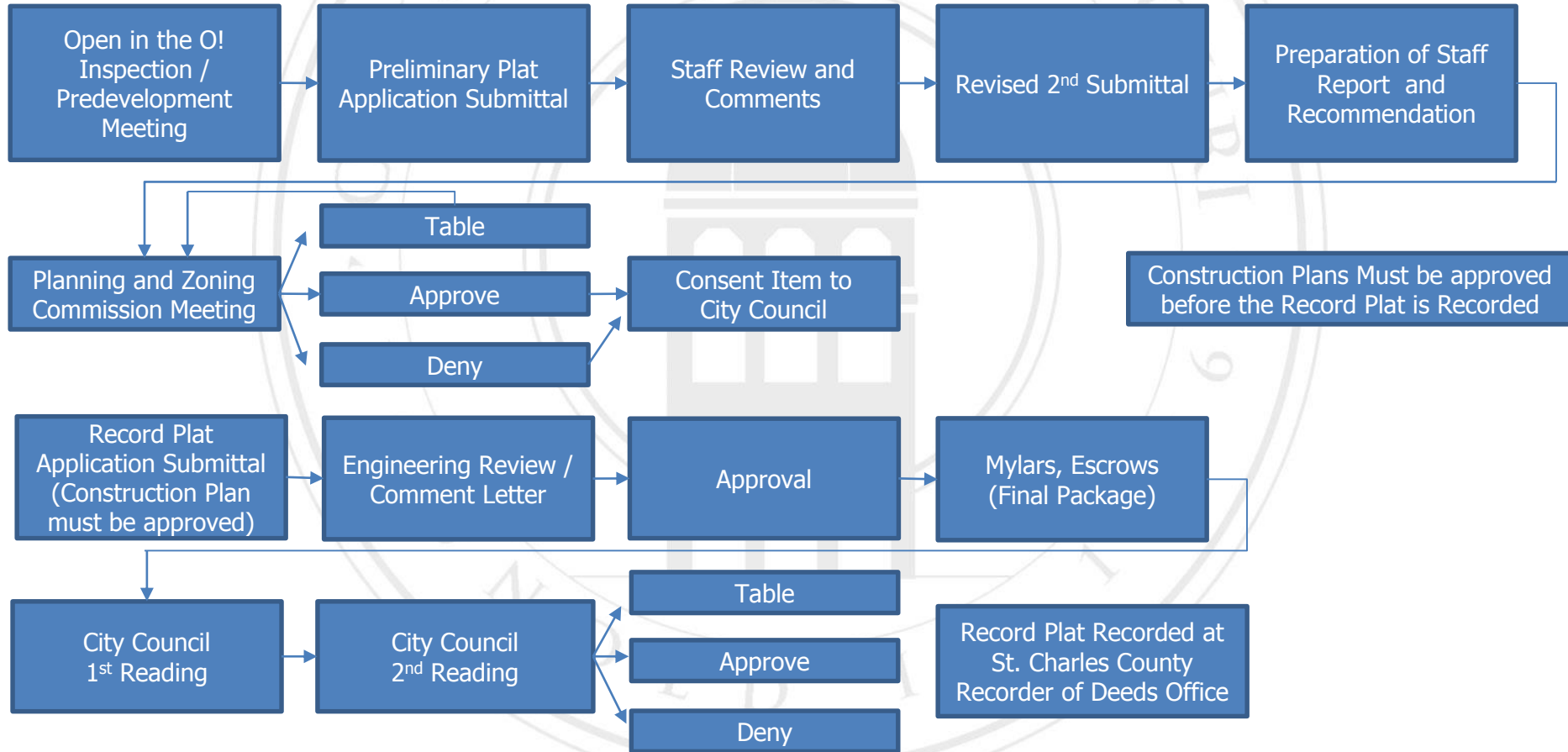
- Identify existing utilities, public and private, such as water, sanitary sewer, storm sewer, electrical, gas, etc. and indicate location and size.
- Show proposed layout of the public sanitary, storm and water systems that will serve the subdivision.
- Show proposed utilities, including location and size.
- Show existing and proposed fire hydrants within 300 feet of the property.
- Provide lighting details, including cut sheets, location, height of freestanding poles and method of screening light source to keep from overflow onto adjacent properties and right-of-ways.
- Chapter 402 of the Zoning Code provides the requirements for landscaping and screening on a developing site, using these requirements, construct a detailed landscape plan, with a full legend or key, that shows the location, number, and types, of plant materials required based on linear street frontage, zoning district, parking lot, and bufferyard landscape requirements. Supporting calculations demonstrating compliance with these requirements shall be included on the landscape plans.
- Article III of Chapter 402 of the Municipal Code provides the formula used to determine the number of trees that must be maintained on site to comply with the Tree Preservation Requirements. Using this formula, calculate the correct number of trees preserved or the number of replacement trees to be planted in order to meet the City standard, and show these calculations on the plans. In addition, provide a map showing the location of the trees to be removed and the trees to remain and include this with the landscape plan.
- Show topographical information on the plans; identifying proposed alterations to the topography and natural features of the site.
- Demonstrate compliance with Article XIII of the Zoning Code, Performance Standards.
- Demonstrate conformance with the City's adopted Comprehensive Plan.
- Show the location of all proposed freestanding signage. All signage shall be approved through the Planning Division via a separate permitting process.
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- Details for all proposed improvements shall be submitted with the Preliminary Plat.
- Any other information deemed necessary by the Planning and Zoning Commission; or any additional information deemed necessary by the Director of Planning and Development to adequately illustrate the proposed development shall be provided.

**Please Note:**

- Prior to construction on any non- residential lot in the subdivision, a Site Plan must be reviewed and approved by the Planning and Zoning Commission. In addition, the appropriate Fire District will need to review and approve the development, and the Building and Code Enforcement Division must review and approve the required Building Permits.
- Outstanding Municipal Code Requirements and conditions of approval of the Preliminary Plat shall be addressed on Construction Site Plans.
- Prior to construction on any residential lot in the subdivision, a Display House Plat must be reviewed and approved by the Planning and Zoning Commission or the Record Plat must be approved by the City Council. In addition, the Building and Code Enforcement Division must review and approve the required Building Permits.
- Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by City Staff. In addition, the appropriate Fire District will need to review and approve the development.
- Any business occupying the site requires approval of a *Business License*.
- Please note if the Preliminary Plat is not concurrently submitted with the Site Plan, building elevations will be required.



# Preliminary Plat Review Process



*The applicant or another representative must attend the Planning and Zoning Commission and City Council Meetings.*